



February 22, 2023

Our File No. 3360 20 150
Bylaw No. 780, 2023

NOTICE OF PUBLIC HEARING

Notice is hereby given that a Public Hearing will be held on Wednesday, March 8, 2023, in the Regional District of Kitimat-Stikine 1st Floor Board Room at 4545 Lazelle Avenue, commencing at 6:00 pm to receive representation from all persons who deem their interests in property to be affected by the proposed bylaw:

Kitimat-Stikine Specified Portion of Electoral Area C, Lakelse Lake Zoning Amendment Bylaw No. 780, 2023

In general terms, the intent is to amend the Lakelse Lake Zoning Bylaw to add a new Parks and Assembly (P2) zone and to rezone the subject property from Residential (R1) to P2. The P2 zone will allow for: (1) Assembly, meaning a use providing for the assembly of persons for religious, charitable, philanthropic, cultural, private recreational or private educational purposes; and (2) Camp assembly, meaning recreational or seasonal accommodation accessory to an assembly use and may include indoor sleeping units and camping sites. The P2 zone will also allow for parks and playgrounds, sports fields, and community centres. The subject property is located at 2777 First Avenue.

It is requested that all submissions be in writing and addressed to:

Public Hearing Committee (Bylaw No. 780, 2023)
Regional District of Kitimat-Stikine
#300-4545 Lazelle Avenue
Terrace B.C. V8G 4E1

Public Hearing Details:

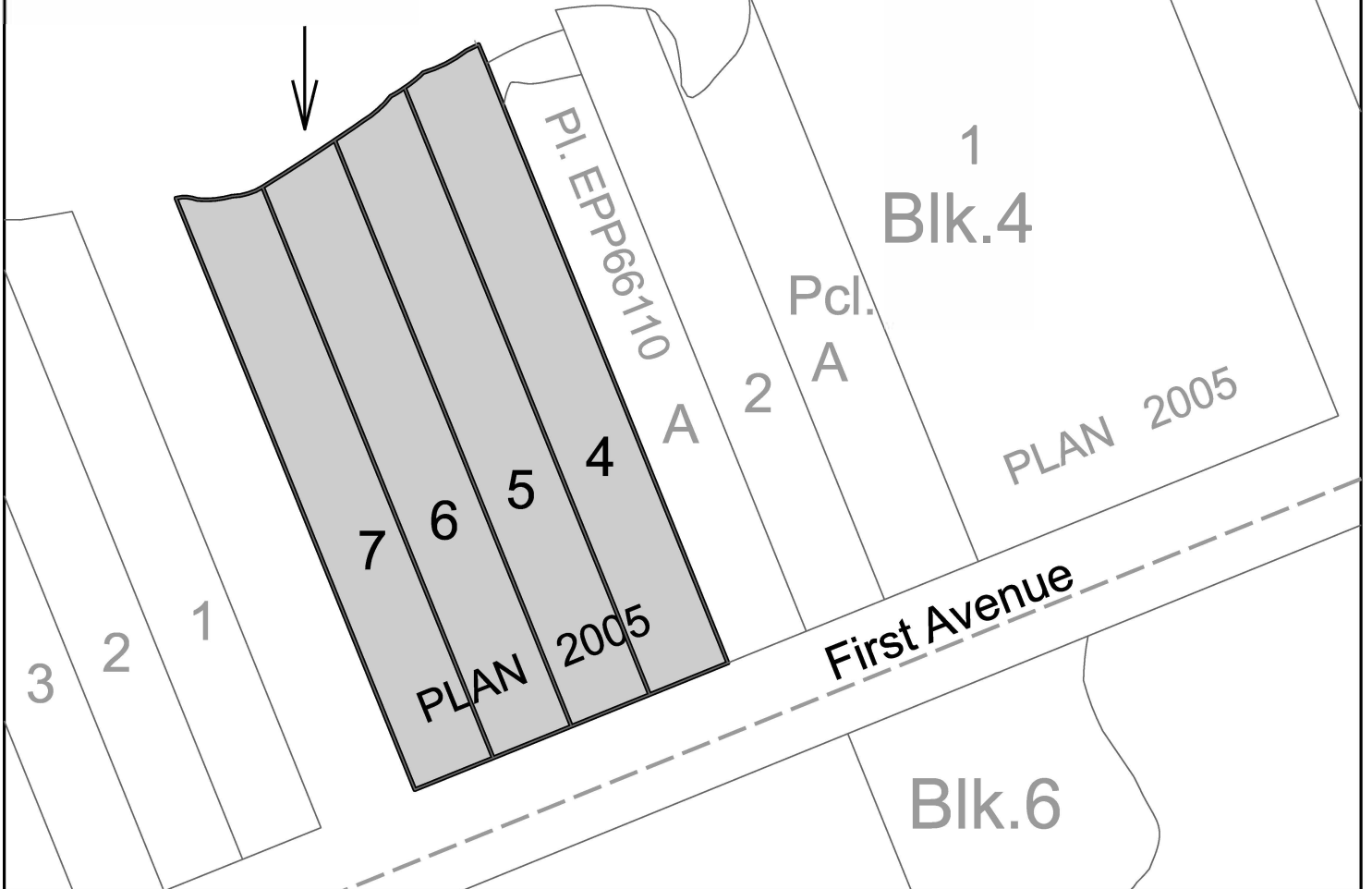
Any person(s) wishing to provide input regarding this application are requested to do so in writing to the Regional District Board via email at planning@rdks.bc.ca or by letter, mailed or delivered to 300-4545 Lazelle Avenue, Terrace, BC, V8G 4E1 no later than 4:30 p.m., Tuesday, March 7, 2023, and please quote "Bylaw No. 780, 2023", in your written submission. If you wish to provide verbal representation at the public hearing, please attend in person.

The public hearing on Bylaw No. 780, 2023, will be held by a delegation of Directors of the Regional District Board. A copy of the Board resolution making the delegation, the application, and the proposed Bylaw No. 780, 2023 may be inspected online and between the hours of 8:30 a.m. and 4:30 p.m., Monday to Friday, excluding holidays, in the office of the Regional District of Kitimat-Stikine, 300-4545 Lazelle Avenue, Terrace, BC. For enquiries concerning this application, contact the Development Services Department at 250-615-6100, 1-800-663-3208 (toll free), or planning@rdks.bc.ca.

NOTE: Site drawing is on the back of this page

Lakelse Lake

Area Subject
To Rezoning

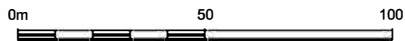


AREA SUBJECT
TO REZONING



This map is Schedule "A" of the
"Kitimat-Stikine Specified Portion of Electoral Area C,
Lakelse Lake Zoning Amendment Bylaw No. 780, 2023"

Lots 4, 5, 6 and 7
Block 4
District Lot 3983
Range 5, Coast Range 5 Land
District (PLAN 2005)



To: Lina Gasser, CAO, for the Planning Committee

From: Amelia Andrews, Planner

Date: January 20, 2022

Re: **Bylaw No. 780 and Zoning Amendment Application No. 150, 2023**
2727 First Avenue, Lakelse Lake (Electoral Area C)

Attachments:

1. Location Map (1 page)
2. Application and Management Plan (14 pages)
3. Draft Zoning Amendment Bylaw (3 pages)

Recommendation:

- (1) **That under the Bylaw section of the Agenda, introduce and give first and second reading to Kitimat-Stikine Specified Portion of Electoral Area C, Lakelse Lake Zoning Amendment Bylaw No. 780, 2023, for Zoning Amendment Application No. 150, 2023, 2727 First Avenue, Lakelse Lake;**
- (2) **That the Board authorize staff to set the Public Hearing date; and**
- (3) **That the Board appoint Directors of Electoral Area E, C, and City or Terrace or their delegates to the Public Hearing Committee.**

Background:

The Regional District has received an application for a zoning bylaw amendment to rezone a property at 2727 First Avenue at Lakelse Lake, from R1 – Residential for the Kinsmen Kiddies Camp. A new zone, Parks and Assembly, has been proposed. The application and supporting materials are attached (**Attachments #1-3**).

1. Location and History

The subject property consists of four lots, each 15 meters wide by 100 meters long for a total of approximately 0.62 hectares in size (see **Attachment #1**). The waterfront property has been operated as the Kinsmen Kiddies Camp by the Kinsmen Club of Terrace since 1946 on lease from the BC government. The previous camp consisted of kitchen buildings, bunkhouses, a washroom building and a main meeting hall. Due to flood damage and aging facilities, the Kinsmen decided to redevelop the camp and removed the previously existing structures.

2. Existing Zoning and Official Community Plan Designation

2727 First Avenue is zoned R1 – Residential in the Lakelse Lake Zoning Bylaw No. 57. This zone allows for seasonal and permanent residential development, one guest house, and home occupations. There is no Official Community Plan in effect for Lakelse Lake to consider as part of this application. The camp has operated for many years in non-conformance with the zoning bylaw.



3. Proposed Development and Zoning Amendment Bylaw

The applicant has worked with staff to determine an appropriate zoning for their redevelopment plans on the property. The land where the camp is located is currently under a 25-year lease by the province, that was renewed in 2020 and will expire at the end of 2045. Four portable trailers were donated by Coast Mountain College and brought to the site, as a temporary housing unit. The next phase of development would be to add a shelter and picnic building, washrooms and utilities facility, play field and campfire area, and cabins consisting of sleeping room for 8 beds.

It has been determined, through research on other similarly zoned properties in other Regional Districts that the most appropriate zoning would be Park and Assembly (P2). This zone will allow for the following new uses:

1. Assembly, meaning a use providing for the assembly of persons for religious, charitable, philanthropic, cultural, private recreational or private educational purposes; and
2. Camp assembly, meaning recreational or seasonal accommodation accessory to an assembly use and may include indoor sleeping units and camping sites.

The zone will also allow for parks and playgrounds, sports fields and community centres. The development standards for this zone have been developed in accordance with other related zones and the Kinsmen Club's development plans.

The property currently consists of four individual lots. It is a requirement of this rezoning that the applicant consolidate the four lots to the meet minimum lot size of 0.5 hectares.

The intention of the proposed P2 zone is to allow for the redevelopment of the site and bring this use into compliance without also allowing more intensive tourist commercial uses like resorts and RV parks.

4. Servicing

The subject property is located in a rural area that is not serviced by community water or community sewer. The property is serviced by onsite septic and a water licence to pump water from the lake. As part of a subsequent Building Declaration and Siting Approvals process for the structures that will be built, the applicant is required to show certification of the onsite septic system by a Registered Onsite Wastewater Practitioner.

7. Notification and advertising

Should the Board give Lakelse Lake Zoning Amendment Bylaw No. 780, 2023 1st and 2nd readings on January 20, staff will schedule the Public Hearing and advertise in the Terrace Standard and on the Regional District website. The proposed date of the in-person public hearing is Wednesday, March 8, 2023 at 6:00 pm in the First Floor Boardroom of the Regional District office. Staff will also send notices to property owners and occupants within 100m of the subject property. A rezoning sign will also be posted on the subject property. Any written submissions received in response to the notifications and advertising will be forwarded to the Board for consideration



8. Analysis and summary

This proposed rezoning will legalize a long-term pre-existing use that provides benefits to the community. The Park and Assembly zone will allow for the Kinsmen Kiddies Camp to exist in conformance with the Lakelse Lake Zoning Bylaw and prevents future redevelopment of the site into a commercial tourist resort. Prior to completion of the rezoning, the four lots will be consolidated to meet minimum lot size requirements.

The proposed development must comply with the Regional District’s Floodplain Management Bylaw No. 656, 2015 to ensure that future development is not at risk from floodwater. Building Declaration and Siting Approvals Permits will also be required for the construction of the additional cabins and structures.

Financial Implications:

There are no financial implications associated with this report.

Strategic Plan Objectives:

5. Provision of services in rural areas.

Voting Structure:

ENTITLEMENT	HOW VOTE COUNTED
Participants; Unweighted (Electoral Area Directors)	Majority

Prepared by/contact: Amelia Andrews

Reviewed by – Ryan Beaudry
Acting Director of Development Service

Approved by CAO

4. Proof of Ownership (for property rezoning only):

A copy of a State of Title Certificate or a copy of a Certificate of Indefeasible Title, dated no more than thirty (30) days prior to submission of the application must accompany the application as proof of ownership.

Proof of Ownership received

5. Application Fee:

An Application Fee of _____ as set out in the *REGIONAL DISTRICT OF KITIMAT-STIKINE DEVELOPMENT APPROVAL AND NOTIFICATION PROCEDURES BYLAW NO. 613 2012*, shall accompany the application and be made payable to the: **Regional District of Kitimat-Stikine.**

6. Proposed Text Amendment (for text amendment applications only):

Describe text Amendment: Proposed New Zoning Definition "Rural Resort Zone"

7. Subject Property Description (for property rezoning applications only):

a. Present zoning of the property: R1

b. Proposed zoning of the property: New - See Description Section 6.

c. Located in ALR: YES _____ NO X

d. Size of Property (number of parcels and area of each): 4 LOTS - EACH ARE APPROXIMATELY 1580 SQ.M.

e. Description of existing use / development on the property: Historical use as a kids camp, and recreation site; with non bylaw conforming facilities(bunks, cookhouse, washrooms ect)

f. Description of proposed use / development (use separate sheet if necessary): Kids camp, and recreation site; Proposed re-development to include day use building, washroom facilities, camping facilities, cabins for 3 season use.

g. Services currently existing or readily available to the property (check those that apply):

Services	Currently		Readily Available *	
	Yes	No	Yes	No
Road Access	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Supply: on-site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Supply: community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal: on-site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hydro Power	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

NOTE: * Readily Available means existing services can easily be extended to the subject property.

h. Proposed Water Supply Method: Surface water extraction from Lakelse Lake

i. Proposed Sewage Disposal Method: On-site treatment & disposal

j. Anticipated start date of proposed project: CURRENTLY IN PROGRESS rezoning and fundraising

8. Reasons in Support of the Application: (why application should be approved)

The current zoning, residential R1, does not allow for primary buildings to occupy more than 1 lot, our club

to utilize the property to full extent with the ability to place new building and facility to support the use as a

camp for children and recreation. We wish to create a new amend the zoning to create a zoning definition

that best fits the historical and intended future uses of property.

This would help return the camp property to it's historic use camp for children and recreation.

This would return the camp property to it's historic use

as the kinsmen club has operated the camp property for over 60 years. We wish to undertake this new &

& rezoning to modernize the camp for best use by the public.

In the Rural Resort Zone, only those uses listed below shall be permitted:
a) Lodge facilities including common meal preparation and sanitary; b) facilities for indoor recreation activities, c) facilities for outdoor recreation activities; d) camping area for recreation vehicles.

e) camping area for tents f) dormitory buildings not exceeding 800m² in floor area each

Condition of Use:

Land, buildings and structures in the Rural Resort Zone shall not be used for the retailing of goods and services to the passing vehicular traffic.

The use of land for the provision of seasonal and short-term accommodation for tents, tent trailers, travel trailers, recreational vehicles, and campers. Occupancy of the campground must be limited to a maximum stay of **15** days per calendar year.

Parcel Size: The minimum parcel size shall be 0.65 hectares.

Setback: No building or structure or part thereof, except a fence or , shall be located within 3.0 meters of any side lot line and 7.0 meters from any front lot lines

7.5 meters of a rear lot line

No dwelling unit shall exceed a height of 15.0

9. Attachments:

The following information is required before the permit may be processed:

- k. A Sketch Plan with dimensions, drawn to a scale of 1 to 250 showing, the parcel(s) to be rezoned and the location of existing buildings, structures, property access, utilities and on-site sewage disposal systems, etc.

REQUIRED: YES Y NO _____

- l. A Site Development Plan with dimensions, drawn to a scale of 1 to 250 showing, the proposed use, buildings/structures and access.

REQUIRED: YES Y NO _____

- m. A Contour Map (plan) drawn to a scale of 1 to 250 with contour intervals of 1-0.25m, of the subject site.

REQUIRED: YES X NO _____

- n. A Sketch Plan with dimensions, drawn to a scale of _____ to _____ of the proposed subdivision, where subdivision (small or large) is contemplated.

REQUIRED: YES _____ NO X

- o. Technical information or reports and other information required to assist in the preparation of a Regional District staff reports are listed below:

Specific Reports:

****IN ORDER TO BE CONSIDERED AT THE NEXT REGIONAL DISTRICT BOARD MEETING ALL APPLICATIONS MUST BE COMPLETED IN FULL AND SUBMITTED AT LEAST 15 DAYS PRIOR TO THE NEXT SCHEDULED BOARD MEETING.****

For Office Use Only:	
Application Fee: \$ _____	Received: _____ Receipt No.: _____
_____	_____
Date	Signature of Official



Kin Canada

**Kinsmen Club
of Terrace**

Kinsmen Kiddies Camp Re-Development Plan

Box 516
Terrace, BC V8G 4B5
2022-11-24



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Appendix

APPENDIX A – Kin Camp Redevelopment – Class C - Cost Estimate

APPENDIX B – Kin Camp Redevelopment - Schedule

Drawings

- Drawing # B-1-10-1 Sheet 1 of 3 – Log Picnic Shelter - Plan
- Drawing # B-1-10-2 Sheet 2 of 3 – Log Picnic Shelter - Sections
- Drawing # B-1-10-2 Sheet 3 of 3 – Log Picnic Shelter - Details
- Drawing # C-01 – Kin Camp – Site Plan – Existing Conditions
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- Drawing # S-01 – Kin Camp – Washhouse \ Utility Facility – Concept Plan
- Drawing # S-02 – Kin Camp – Cabin – Concept Plan



1. Mission Statement

Serving the Community's Greatest Need since 1946

2. Objective

The Re-development of The Kinsman Kiddies Camp located on Lakelse Lake in between Kitimat and Terrace, BC. The main reason for the Kinsmen Kiddies camp is to provide the kids of the communities of northwestern BC with the necessities to be able to play, swim and camp at a safe and low-cost facility that will be sustainable for the years to come. The secondary reason is to provide access and facilities to the camp for the communities of northwestern BC.

A plan for a multiyear re-development of the Camp is to be completed in five phases, and partners are being sought after to assist the project to completion. The five proposed phases of the project are as follows:

Phase I: complete the earth works; having the site leveled and base prepped to the finished grade to provide a starting point to build structures and grass fields for activities and camping. – **Completed with the exception of the noted budgeted item**

Phase II: bring in 4 portable trailers to site for the use of a temporary accommodation and operations facility. - **Completed with the exception of the noted budgeted item**

Phase III: construction of an open log shelter consisting of picnic tables and a cooking preparation area with a small wood stove for heat and cooking.

Phase IV: construction of a building to house washrooms and site utilities, including fresh water, sanitary sewer, and electrical.

Phase V: removal of the portable trailers and construction of up to 6 new cabins to better manage, allow easier upkeep, and promote long-term sustainability. These cabins will be located to better manage flood damage caused by water levels from the lake with minimal refurbishment.



3. Camp History

The Kinsmen Club of terrace took over for the Kinsmen Kiddies Camp in 1946 from the Prince Rupert Kinsmen. The BC Provincial Government granted the camp a 50-year lease in 1940 followed by a 30-year lease in 1990.

The camp in the 1940's consisted of a beach, a swamp, and an access trail that went from the camp to the hot springs near Highway 37. The camp was further developed in the 1960's and consisted of a few small cabins along with a larger 25-person cabin. In 1972 the access road was constructed through from the Highway 37. In 1976-1977 a large log cabin was constructed with help from Caledonia school as a central hall. In 1978 the camp was flooded which destroyed and washed away some of the buildings. In 1979 the flood damage to the camp was repaired and rebuilt. The camp consisted of 2 kitchen buildings, 4 bunkhouses, a washroom building and a main meeting hall by 1989. Development of the camp took place in 1991 with the installation of four portable trailers and required utilities to support the camp services. The camp was again flooded in 1992, when the base elevation of the camp was raised by importing fill. In 1996 the main banquet hall was established, and newly opened camp was complete to coincide with the 50th anniversary of The Kinsmen Club of Terrace.

The Kinsmen decided to update the camp to meet current requirements and to be more suitable for kids camps and community use. Since the state of facilities was aging, had sustained flood damage, and no longer suited the user's needs, the Kinsmen decided to redevelop the camp in 2014. Phase I of the proposed redevelopment started in 2014, with phase I and II being completed.

4. Current Facilities

The land where the camp is located is currently under a 25-year lease by the Province of BC, that was currently renewed in 2020 which will expire at the end of 2045; The current facility consists of 4 lots, each lot is 15 meters wide and 100 meters long. The current lots are undergoing a rezoning with Regional District of Kitimat Stikine to allow for the desired development and future uses to be in compliance with historic uses. The property has an access off First Avenue in Terrace, BC and is located on Lakelse Lake. The lots consist of a graded gravel pad, 4 atco trails and a small field ready to expand for a larger park for kids. There is amazing beach front that runs 60 meters at the back of the lot. The existing lot utilities include natural gas, hydro connection at the center of the lot, and a water use license to obtain water from Lakelse Lake for potable purposes.



5. Proposed Development

5.1 Site Leveling and Grading (2018)

The first phase of this plan was to fill the 540 cubic meter hole that was left over from when the old camp was demolished in 2014. The site was then regraded to deal with surface drainage and ditches were created around the perimeter to return high lake levels back to the lake. A fence was then installed at the front of the property.

5.2 Portable Trailers (2020)

As a temporary housing unit four portable trailers (ATCO Trailers) were brought to site, donated by Coast Mountain Collage. The trailer were dismantled and trucked over to the camp site and placed on wood blocks, approximately 1 meter high above the ground level. A hallway has been constructed between the portable trailers with two entrances on each end, included stairs. The trailers have wood skirting installed to assist in temperature regulation and to inhibit wildlife interference. The trailers have been hooked up to power. The sewer and water will not be connected till Phase IV when the sanitary sewer and water treatment are installed. In the meantime, Porta-Potties have been donated by Westpoint Rentals until Phase IV has been completed.

5.3 Shelter/Picknick building

The shelter/picknick will be an open style building. The intent of the building is to create a central eating and gathering area allowing for all weather, 3 season operations. The building will be approximately 10.3 meter by 7.9 meter log stringer shelter construction with slab-on-grade concrete floor to allow for easy access to the beach and parking facility. The shelter will include electrical services prepared for when Phase IV in completed when it can then be commissioned. The structures open structure that will provide a pleasant, opened air atmosphere in summer months while still provide shelter from precipitation. The shelter will include of 5 picnic tables, a wood fireplace, and a food preparation table with under cabinetry.

See attached drawings by Province of British Columbia – Provincial Parks Drawing Number B-1-10-1, B-1-10-2, and B-1-10-3 for example construction.

5.4 Washrooms \ Utilities Facility

The Washroom \ Utilities Facility will provide four washrooms for sanitary uses and a utility room to provide potable, electrical and sanitary controls. The four washrooms will include shower, toilet, and wash sink facilities including handi-capable facilities.



The utility room will contain water treatment for potable standards, heating for showers, sanitary treatment controls and electrical distribution utilities.

It is intended for the building to be constructed out of concrete masonry block (CMB) with a concrete perimeter foundation for maximum longevity with a concrete floor and a wood-truss roof with steel mesh installed to maintain air flow and reduce wildlife interference.

See attached McElhanney Drawings S-01 for additional details and a concept floor plan.

5.5 Play Field and Camp Fire Area

There will be a grass field of 25 meters by 40 meters with an extra green area for kids to play other games. There will also be extra room for tent camping. There will be a fire pit along with a gravel pad suitable for outdoor cooking. The cooking and camping area will be located between the shelter and the water.

5.6 Cabins

The cabins will be 10.3 meters long by 5.5 meters wide. The cabins will consist of sleeping room for 8 beds, a small area for meeting or playing cards, and a small deck out the front door. The cabins will be fitted with nightstands and lockers for the kids to store their belongings. The cabins will be built on stilts to be above the 200-year flood elevation to provide a permanent structure that will require low maintenance in case of flooding.

5.7 Utilities

5.7.1 Power

The electricity is provided from a single phase 600-amp transformer on the BC Hydro pole, located on the street servicing the front of the property. The power has been connected to an existing drop pole with a 400-amp service which will be utilized to connect the proposed Washroom \ Utility Facility and feed the 400-amp breaker panel. The breaker panel will connect electric services to the portable trailers, RV connections, and to the shelter.

5.7.2 Water

There is currently a water use license on the property to pump water from the lake. There will be a submersible pump laid in the lake approximate 75 meters out towards the center of lake. The water will then be pumped to the washroom \ utility facility



where it will be treated with a sand filter and a UV Filter. The water will then be connected to a booster pump to provide the required pressure to provide water to all the washrooms and portable trailers.

5.7.3 Sanitary

The sanitary sewer will consist of the washroom \ utility facility lead to the proposed wastewater disposal field at the back corner of the lot; the farthest setback from the lake.

6. Kinsman Club of Terrace History

The Kinsmen Club of Terrace is a community non-profit group based on the foundation of raising funds and upgrading the community for better living and healthier life. Through various fundraising activities, the club aims to support community groups, services, projects, and events in the community. The primary focus has been supporting youth and encouraging physical activity through development of playgrounds, trails, and the Kiddies Camp.

The Kinsmen have previous experience in projects such as:

- Previous Kiddie camp development,
- George Little Park playground valued at \$35,000,
- Kin Park Playground on Halliwell Ave, Terrace BC, valued at \$25,000, Terrace Sportsplex valued at \$20,000,
- Terrace Off-Road Cycling Association (TORCA) valued at \$14,000,
- Howe Creek Trail valued at \$10,000,
- Highschool Scholarships valued at \$2,500 per annum, and
- Various other projects over the years.

7. Partners, Resources, In-Kind & Good of Kin

The Kinsmen Club of Terrace partnered with a wide range of service clubs, community groups, volunteer associations and business to meet the community's greatest needs. These include:

- Rotary Club of Terrace
- Rotary Club of Terrace-Skeena Valley
- Elks the Royal Purple
- Kin Canada
- Jock's Excavating - Deconstruction of the Existing Camp



- Progressive Ventures Ltd. - Grading and lot development for 2018 and construction of portable trailer stairs and hallways
- Northwest Regional Airport - General fill for lot development for 2018
- McElhanney - Engineering and Survey
- Coast Mountain College - 4 ATCO Trailers donation
- ENTREC - Moving and Pilot car for the 4 ATCO Trailers
- Bryant Electric – Dismantling and connecting the electrical for the trailers
- RBC, Husky, WestJet, Canadian Tire, Ken’s Marine, Coast Mountain Wireless, CFNR, Credit Union, Westland Insurance, WestPoint Rentals

8. Financial and Cost Summary

As of June 2021 approximately \$65,000, with almost the same in Donations and Gift-in Kind have been invested into the camp upgrades and development to complete most of Phase I & Phase II as well as concept layout and design for Phases 3, 4 and 5. Additional funds will be needed to bring the camp to the levels described in greater detail below: A detailed cost estimate can be found attached in Appendix A – Kin Camp Redevelopment Cost Estimate Class C.

1. Approximately \$150,000 to complete the BC Parks shelter for campers that need to get out of the rain.
2. Approximately \$275,000 to complete the washroom\utilities facility and all utilities required for the camp to operate at optimal performance.
3. Approximately \$80,000 to complete one cabin.

9. Schedule

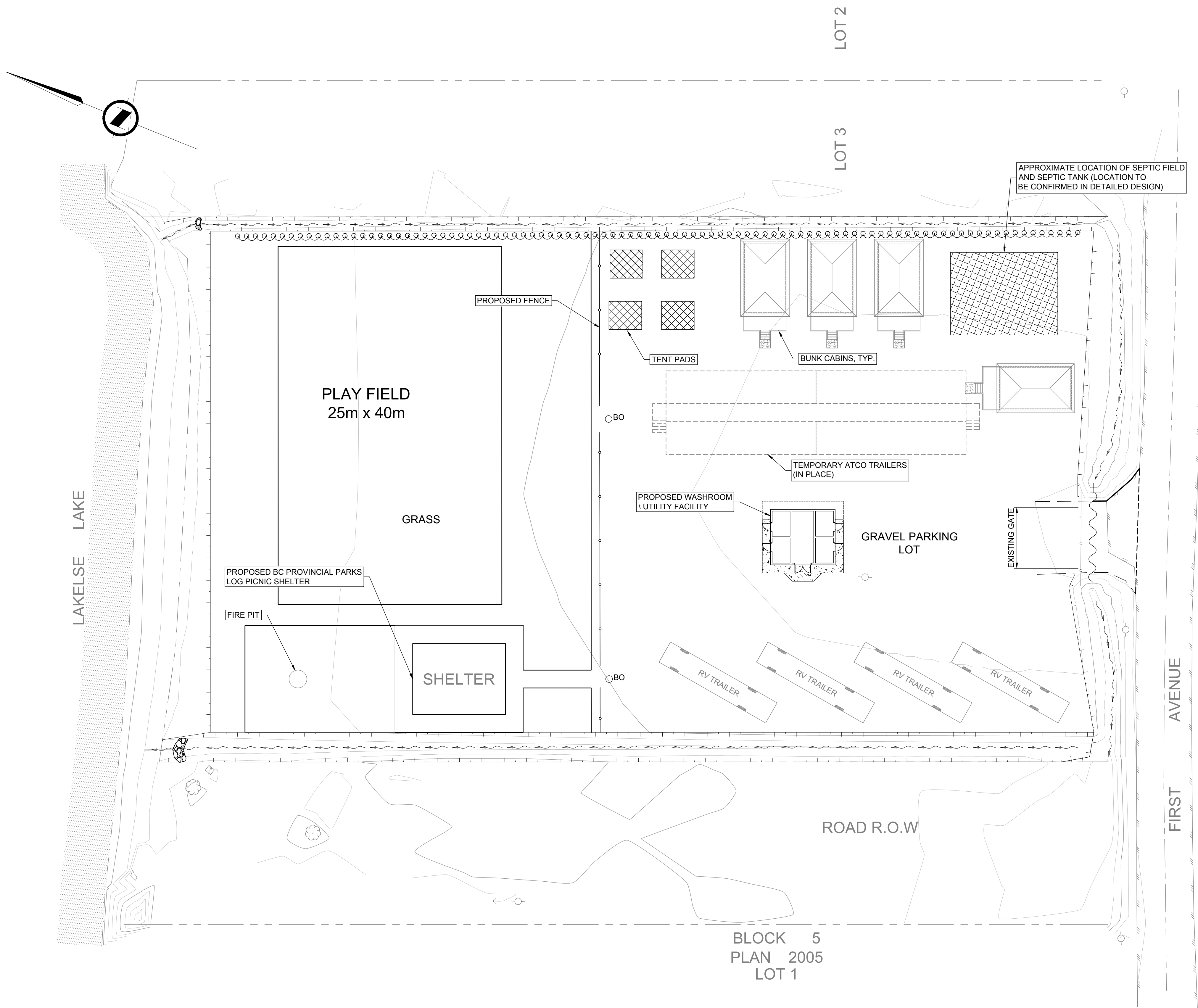
This schedule is approximate and will be adjusted based on Kinsmen Kiddies Camp development plan fund raising. The schedule can be found in the attached Appendix B – Kin Camp Redevelopment Schedule.

10. Closing

The Kinsmen Club of Terrace has been a part of the northwestern BC communities and will be for a long time to come. The Kinsmen require the continued support of the northwestern BC community’s whether that is by buying a river boat raffle tickets to help fund our ongoing community support of parks and recreation or by helping to donate to the Kinsmen Camp with either time, materials or monetary donations to allow for enhancing and serving the community’s greatest needs.

McElhanney ANS1 D - 2017-01-17

DATE: 2022-11-24, 09:37 FILE: X:\2321\020200\02099-00\Kincamp_SitePlan\10.0_Drawings\10.2_AutoCAD Files\02 PROPOSED DEVELOPMENT.dwg



LEGEND	
EXISTING	
HYDRO POLE	
GUY WIRE	
BOLLARD	
TREE	
LEGAL LINES	
ROAD CENTERLINE	
EDGE OF ASPHALT	
EDGE OF GRAVEL	
TOP OF BANK	
BOTTOM OF BANK	
CHAINLINK FENCE	
SWALE	
CULVERT	
HEDGE	
BUILDING	
EDGE OF WATER	
WATER	

PA	Date	Description	Drawn	Design	App'd
PA	2022-11-12	ISSUED FOR INFORMATION	JMD	JMD	NRB
Rev					

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ORIGINAL DWG SIZE: ANS1 D (22" x 34")

McElhanney
 McElhanney Consulting Services Ltd.
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 5008 Pohle Avenue
 Terrace BC
 Canada V8G 4S8
 Tel 250 635 7163

Approved Sealed

KINSMAN CLUB OF TERRACE
 KIN CAMP
 SITE PLAN
 PROPOSED DEVELOPMENT

Drawing No.	C-02
Project Number	2321-02099-00
Rev.	PA

DESTROY ALL PRINTS BEARING PREVIOUS REVISION



BYLAW NO. 780

A bylaw to amend the “Regional District of Kitimat-Stikine Specified Portion of Electoral Area C, Lakelse Lake Zoning Bylaw No. 57, 1979”.

The Board of the Regional District of Kitimat-Stikine, in open meeting assembled, enacts as follows:

Title:

1. This Bylaw may be cited as the “Kitimat-Stikine Specified Portion of Electoral Area C, Lakelse Lake Zoning Amendment Bylaw No. 780, 2023”.

Amendments:

2. “Regional District of Kitimat-Stikine Specified Portion of Electoral Area C, Lakelse Lake Zoning Bylaw No. 57, 1979” is hereby amended as follows:

a) Under Section 1.3.0 Definitions add:

ASSEMBLY means a use providing for the assembly of persons for religious, charitable, philanthropic, cultural, private recreational or private educational purposes.

CAMP ASSEMBLY means recreational or seasonal accommodation accessory to an assembly use and may include indoor sleeping units and camping sites.

b) Under Section 2.1.0 Zones add:

f) Park and Assembly P2

c) Add Section 2.7.0 Park and Assembly – P2

Permitted Uses

This zone provides for assembly and camp assembly uses.

In the Park and Assembly zone, the use of land, buildings and structures is restricted to:

- a) assembly
- b) camp assembly
- c) parks and playgrounds
- d) sports fields
- e) community centre

2.7.1 Standards

Every use of land and every building or structure permitted in Park and Assembly zones, shall conform with the provisions of Sections 2.7.2 to 2.7.5 inclusive.



Regional District of
Kitimat-Stikine

2.7.2 Site Area

The minimum site area shall be 0.5 hectares.

2.7.3 Setback and Height

1. No building or structure or part thereof except a fence, shall be located within 7.5 meters of a lot line
2. No building or structure shall exceed a height of 10.0 meters or two storeys in height.

2.7.4 Site Coverage

Buildings and structures shall not cover more than thirty-five per centum (35%) of the site area.

2.7.5 Parking

Off-street parking shall be provided in accordance with the provisions of Sections 3.1.0 and 3.1.1.

- d) The land described as 4, 5, 6 and 7 Block 4 District Lot 3983 Range 5 Coast District Plan 2005 be rezoned from the Residential (R1) Zone to the Park and Assembly (P2) Zone.

READ a first time this _____ day of _____, 2023.

READ a second time this _____ day of _____, 2023.

A Public Hearing with respect to this bylaw was held on the ____ day of _____, 2023.

READ a third time this _____ day of _____, 2023.

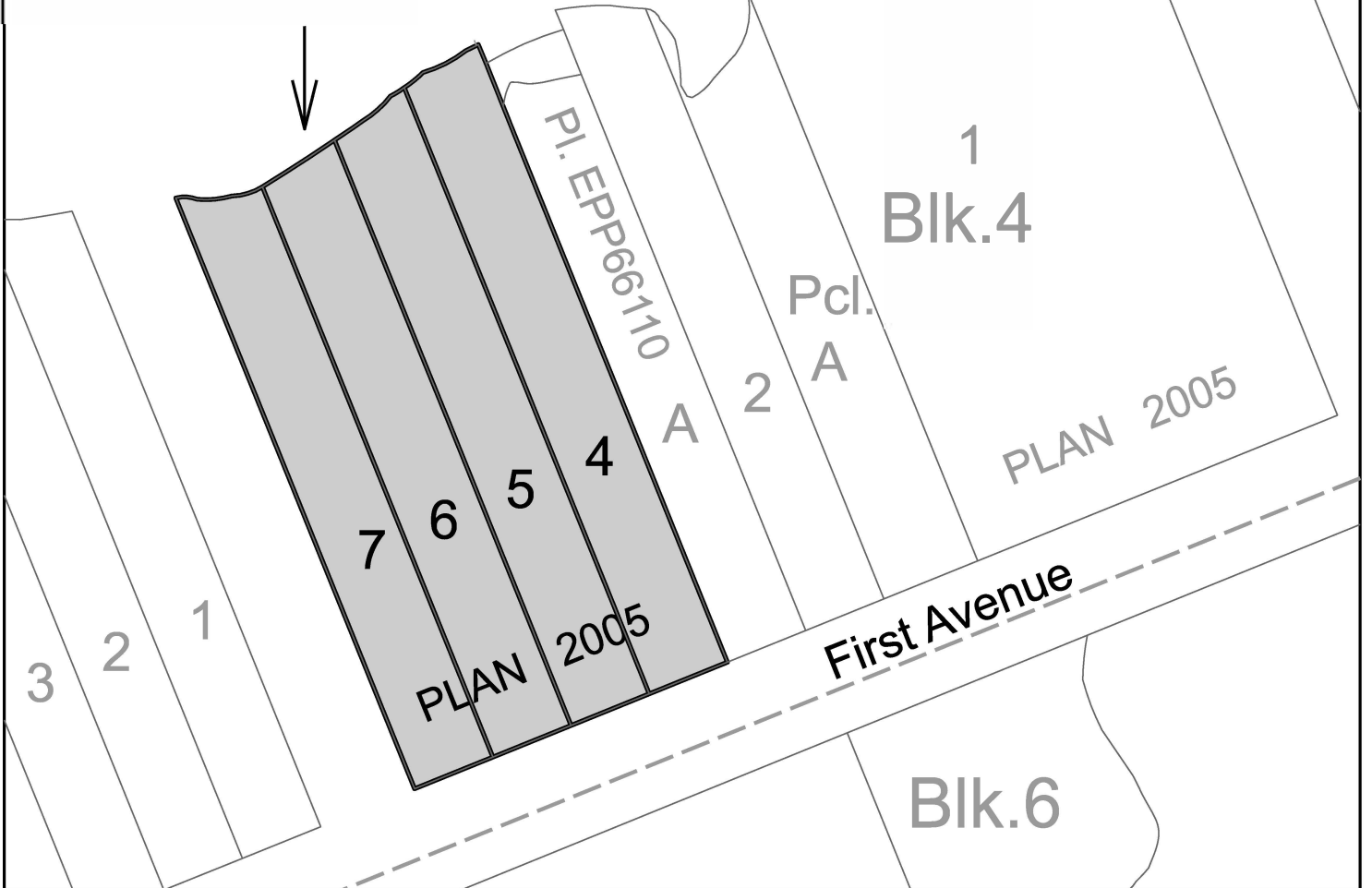
ADOPTED this _____ day of _____, 2023.

Chair

Director of Administration

Lakelse Lake

Area Subject
To Rezoning



AREA SUBJECT
TO REZONING



This map is Schedule "A" of the
"Kitimat-Stikine Specified Portion of Electoral Area C,
Lakelse Lake Zoning Amendment Bylaw No. 780, 2023"

Lots 4, 5, 6 and 7
Block 4
District Lot 3983
Range 5, Coast Range 5 Land
District (PLAN 2005)

